

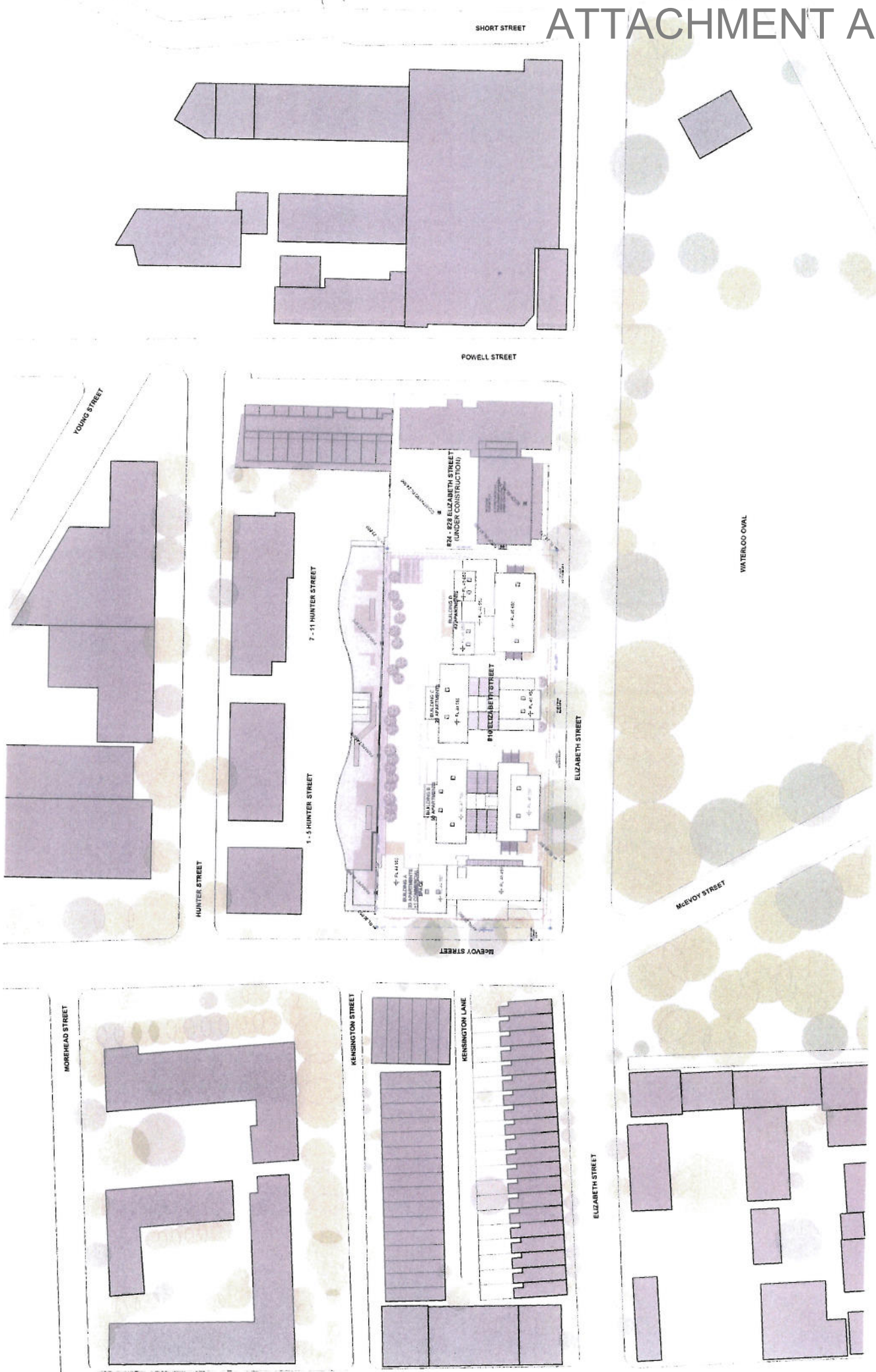
ATTACHMENT A

ATTACHMENT A

ARCHITECTURAL PLANS

810-822 ELIZABETH STREET, WATERLOO

ATTACHMENT A



PROJECT NO. 11432
 PROPOSED RESIDENTIAL DEVELOPMENT
 DRAWN BY: RUMBA
 TO SCALE: 1:500 @ A1
 CHECKED BY: RUMBA
 DATE: 11/11/2017
 REV. NO. 01
 REV. DATE: 11/11/2017

MPR
 ARCHITECTURE
 INTERIORS
 11432
 11/11/2017

PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT
 LOCATION: 828 ELIZABETH STREET WATERLOO
 DRAWING: SITE PLAN

DA 1000 B

ATTACHMENT A

No. 741 HUNTER ST
EXISTING 5-STORY
APARTMENT BUILDING

No. 824, 826
ELIZABETH ST
8 STOREY MIXED USE
DEVELOPMENT APPROVED
UNDER CONSTRUCTION

No. 741
HUNTER ST
EXISTING 8-STORY
RESIDENTIAL UNIT
BUILDING

No. 1-5
HUNTER ST
EXISTING 8-STORY
RESIDENTIAL UNIT
BUILDING



McEVY STREET

ELIZABETH STREET

BASEMENT PLAN
1:200

- BASE COMMITMENTS**
- CENTRAL WATER TANK (RAINWATER OR STORMWATER)
 - CAPACITY - 10,000 L
 - TO BE PROVIDED FROM AT LEAST TWO SEPARATE MAINS
 - TO ALLOW FOR IRRIGATION OF 600 M² OF COMMON LANDSCAPED AREA
 - ENERGY
 - CENTRAL HOT WATER SYSTEM TO SUPPLY ALL DWELLINGS
- THERMAL**
- WIND WALLS MUST BE PROVIDED TO REDUCE WIND INfiltration
 - EXTERNAL WALL & FLOOR INSULATION TO BE PROVIDED
 - APARTMENTS REFER THERMAL COMFORT ASSESSMENT - BERS PHO
 - WINDOWS - ALUMINIUM FRAMED SINGLE GLAZED CLEAR GLAZING
 - 10.5 E57 AND SHGC = 0.74 ± 10% (WEATHER STRIPPING FITTED)



- LEGEND**
- EXISTING TREE TO BE REMOVED
 - TREE NUMBER
 - RELATIVE LEVEL
 - EXISTING RELATIVE LEVEL
 - BOUNDARY LINE
 - OUTLINE OF EXISTING BUILDING

- ABBREVIATIONS**
- ELC ELECTRICAL CORDBOARD
 - PH FIRE HYDRANT
 - FW FLOOR WALKER
 - GC GARAGE CHUTE
 - SWP STORMWATER PIT



PROJECT
PROPOSED RESIDENTIAL
DEVELOPMENT
100 SOUTH STREET WATERLOO
NSW 2010
DRAWING NO. REV
DA 2000 B

PROJECT NO. 1002
DRAWING NO. REV
TO SCALE 1:200 @ A1
DRAWING NO. REV
DA 2000 B

ATTACHMENT A



PROJECT NO. 11002
 DEVELOPMENT NO. 11002
 TO SCALE 1:200 @ A1
 DRAWING NO. REV
 DATE 11/2011

PROJ. 05
 DEVELOPED RESIDENTIAL
 85 ELIZABETH STREET WATERLOO
 DRAWING
 GROUND FLOOR PLAN



ARCHITECTURE
 INTERIOR



LEGEND

5	EXISTING TREE TO BE REMOVED
6	EXISTING TREE TO BE PRESERVED
7	NEW TREE
8	RELATIVE LEVEL
9	EXISTING RELATIVE LEVEL
10	BOUNDARY
11	OUTLINE OF EXISTING BUILDING

ABBREVIATIONS

ELEC	ELECTRICAL CLOSET
EL	ELECTRICAL LEVEL
FM	FIRE MOUNT
FR	FIRE RISK
GC	GARAGE CHUTE
GS	GRAVEL SUB LEVEL
SWP	STORMWATER



TERMINAL

- EXTERNAL WALLS & FLOOR INSULATION
- EXTERNAL WALLS & FLOOR INSULATION
- PARTITIONS REFER THERMAL COMFORT ASSESSMENT: 888 PRO
- WINDOWS - ALUMINUM FRAMED SINGLE GLAZED CLEAR GLAZING (U 1.5 657 AND SHGC = 0.74 & 10% WEATHER STRIPPING FITTED)

BASIC COMPONENTS

- CENTRAL WATER TANK (RAINWATER OR STORMWATER)
- CAPACITY = 10000 L
- 10% ALLOW FOR IRRIGATION OF 800 M² OF COMMON LANDSCAPED AREA
- ENERGY
- CENTRAL HOT WATER SYSTEM TO SUPPLY ALL DWELLINGS

GND FLOOR

ELIZABETH STREET

McEVY STREET

No. 741 HUNTER ST
 EXISTING 5-STORY
 RESIDENTIAL
 PARTNERSHIP BUILDING

No. 741 HUNTER ST
 EXISTING 8-STORY
 RESIDENTIAL UNIT
 BALCONY

No. 1-5 HUNTER ST
 EXISTING 8-STORY
 RESIDENTIAL UNIT
 BUILDING

No. 824-828 ELIZABETH ST
 6 STOREY MIXED USE
 DEVELOPMENT APPROVED
 UNDER CONSTRUCTION

COURTYARD

BOUNDARY

LINE OF EXISTING BUILDING DAMAGED

CLUB AREA

LANDSCAPED AREA

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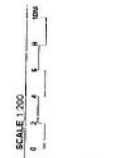
POIC

ATTACHMENT A

PROJECT NO. 1002
 DRAWN BY: RMAS
 TO SCALE: 1/8" = 1'-0"
 DATE: 01/11/2017
 REV: 01/11/2017

PROJECT: PROPOSED RESIDENTIAL
 810 ELIZABETH STREET WATERLOO
 NEW 2017
 DRAWING: LEVEL 1 PLAN

MPR
 ARCHITECTURE
 1000 UNIVERSITY AVENUE
 WATLINGTON, ONTARIO N2L 2K1
 TEL: 519-885-1111
 WWW.MPRARCHITECTURE.COM



ABBREVIATIONS

CLC	COURT
FFL	FISHED FLOOR LEVEL
PH	FIRE HYDRANT
FL	FLOOR LEVEL
PW	FLOOR WASTE
GC	GRAVEL CRUISE
SL	SLURRY
SWP	STORMWATER PIT

LEGEND

(Symbol)	EXISTING TREE TO BE REMOVED
(Symbol)	TREE NUMBER
(Symbol)	RELATIVE LEVEL
(Symbol)	EXISTING RELATIVE LEVEL
(Symbol)	BOUNDARY LINE
(Symbol)	OUTLINE OF EXISTING BUILDING



THERMAL

- WALLS AND CEILING INSULATION TO BE AS SPECIFIED
- EXTERNAL WALL & FLOOR INSULATION TO BE AS SPECIFIED
- ROOF INSULATION TO BE AS SPECIFIED
- WINDOWS - ALUMINUM FRAMED SINGLE GLAZED CLEAR GLAZING (U = 0.65 AND SHGC = 0.74 @ 10%) (WEATHER STRIPPING FITTED)

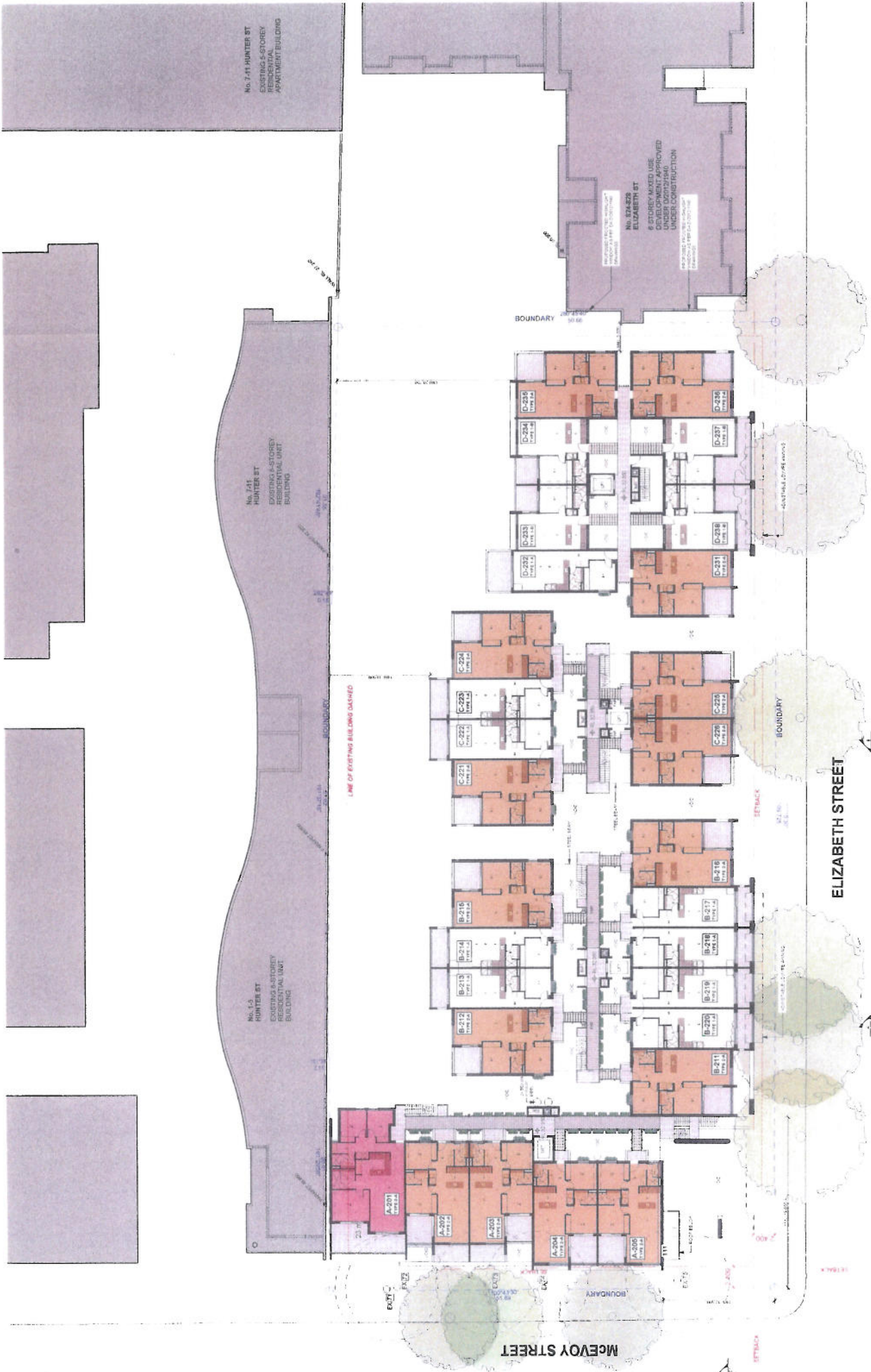
BASE COMMENTS

- CENTRAL WATER TANK (RAINWATER OR STORMWATER)
- CAPACITY & LOCATION TO BE AS SPECIFIED
- TO ALLOW FOR BRIGATION OF 600 M² OF COMMON AREAS
- ENERGY
- CENTRAL HOT WATER SYSTEM TO SUPPLY ALL DWELLINGS



LEVEL 1
 200

ATTACHMENT A



PROJECT NO. 115
DRAWN BY: BAW
TO SCALE: 1:200
DATE: 10/11/2015
PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT AT 124-130 ELIZABETH STREET WATERLOO ONTARIO L2R 1K1
DRAWING: LEVEL 2 FLOOR PLAN
DA 2003 I

MPR
 Architecture
 Interior

LEGEND

EXISTING TREE TO BE REMOVED	TREE NUMBER	RELATIVE LEVEL
EXISTING RELATIVE LEVEL	BOUNDARY LINE	OUTLINE OF EXISTING BUILDING

ABBREVIATIONS

ELC	ELECTRICAL CURBBOARD
FPL	FINISHED FLOOR LEVEL
FR	FIRE RATED WALL
FW	FLOOR WASTE
SL	STRUCTURAL SLAB LEVEL
SWP	STORMWATER PIT

SCALE: 1:200

40

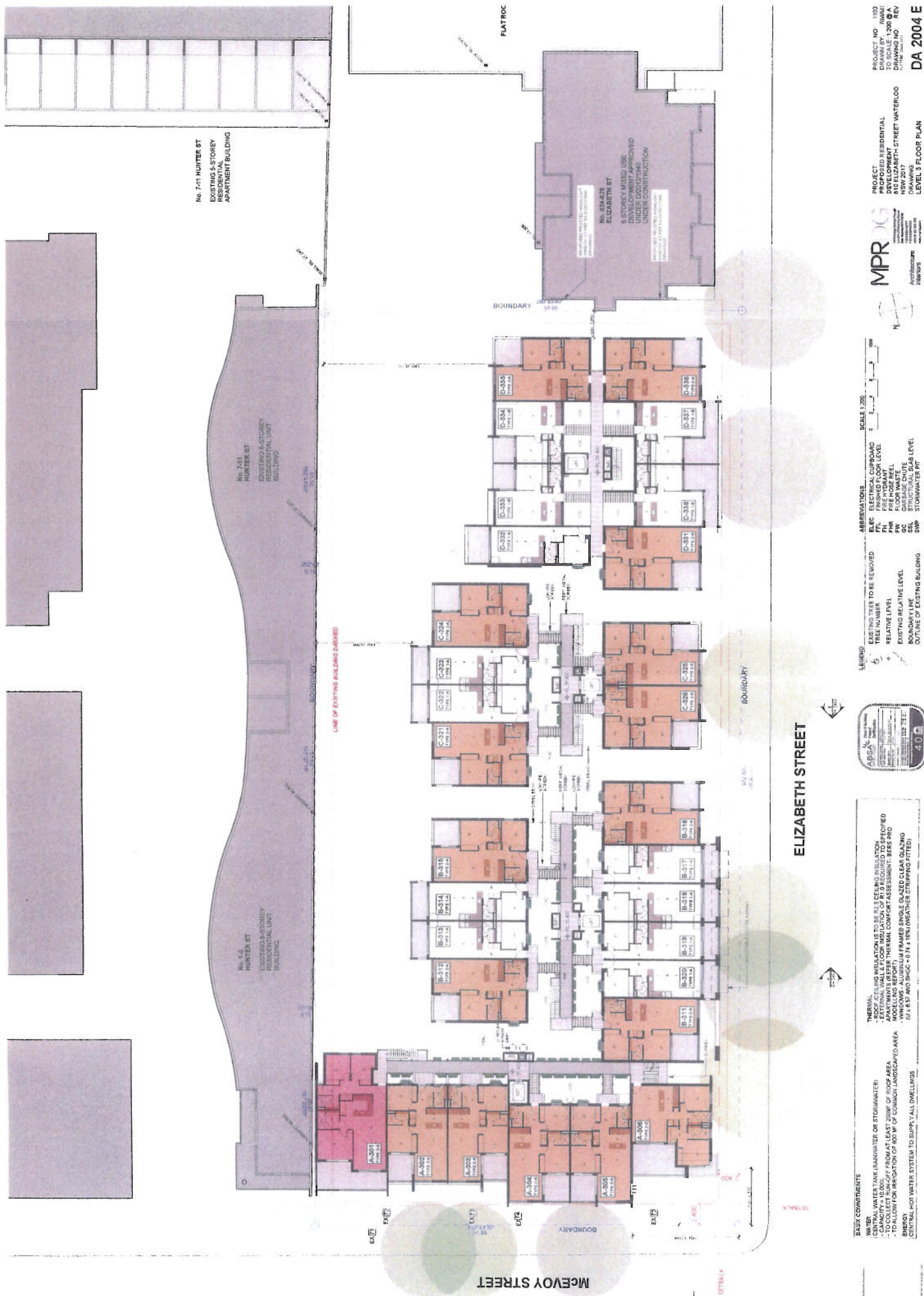
LEGEND

THRMAL	ROOF CEILING INSULATION IS TO BE R23 CEILING INSULATION, UNFITTED APARTMENTS (REFER THERMAL COMFORT ASSESSMENT, SERP PRO MODELING REPORT), IN FRAMED SINGLE GLAZED CLEAR GLAZING U1 1.57 AND SHGC = 0.74 ± 10% (WEATHER STRIPPING FITTED)
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BASED COMMITMENTS

WATER	CENTRAL WATER TANK (RAINWATER OR STORMWATER): - TO COLLECT RUN-OFF FROM AT LEAST 200M ² OF ROOF AREA - TO ALLOW FOR IRRIGATION OF 800 M ² OF COMMON LANDSCAPED AREA
ENERGY	CENTRAL HOT WATER SYSTEM TO SUPPLY ALL DWELLINGS

ATTACHMENT A



PROJECT NO. 180
 DD TO SCALE 1:200 @ A
 DRAWING NO. REV
 DA 2004 E

PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT APPROVED BY ELIZABETH STREET WATERLOO DEVELOPMENT REVIEW BOARD
 ARCHITECT: MPR
 LEVEL 3 FLOOR PLAN



SCALE 1:200
 0 1 2 3 4 5 6 7 8 9 10M

ABBREVIATIONS
 BLFC ELECTRICAL CUPBOARD
 FFL FINISHED FLOOR LEVEL
 FHR FIRE HOSE REEL
 FW FLOOR WASTE
 SFL STRUCTURAL SLAB LEVEL
 SWP STORMWATER PIT

LEGEND
 EXISTING TO BE REMOVED
 TREE NUMBER
 RELATIVE LEVEL
 EXISTING RELATIVE LEVEL
 BOUNDARY LINE
 OUTLINE OF EXISTING BUILDING



THERMAL
 - ROOF CEILING INSULATION TO BE R-15 SETTING INCLUDING ROOF PENETRATIONS
 - APARTMENTS REFER TO THERMAL COMFORT ASSESSMENT, BEFS PRO
 - WINDOWS ALUMINUM FRAMED SINGLE GLAZED CLEAR GLAZING (U = 6.57 AND SHGC = 0.74, 10% WEATHER STRIP/PKG FITTED)

BASIC COMMENTS
 WATER
 - TO COLLECT RUN-OFF FROM AT LEAST 200M² OF ROOF AREA
 - TO COLLECT RUN-OFF FROM AT LEAST 80 M² OF COMMON LANDSCAPED AREA
 CENTRAL HOT WATER SYSTEM TO SUPPLY ALL DWELLINGS

LEVEL 3
 1:200

ATTACHMENT A



ELIZABETH STREET

PROJECT NO. 1120
DRAWN BY: MAM
SCALE: 1:200 @ A
DATE: 10/10/2017
PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT AT NO. 85A/82B ELIZABETH STREET WATERLOO NSW 2017
DRAWING: LEVEL 4 FLOOR PLAN

MPR
MURPHY PROJECTS
Architects

LEGEND

- EXISTING TREE TO BE REMOVED
- RELATIVE LEVEL
- EXISTING RELATIVE LEVEL
- BOUNDARY LINE
- OUTLINE OF EXISTING BUILDING

ABBREVIATIONS

- ELEC ELECTRICAL CIPBOARD
- FFL FINISHED FLOOR LEVEL
- FIR FIRE HOSE REEL
- FW FLOOR WASTE
- SSL STRUCTURAL SLAB LEVEL
- SWP STORMWATER PIT

SCALE: 1:200

APSA
40

THERMAL
 - ROOF CEILING INSULATION IS TO BE R-5 CEILING INSULATION
 - APARTMENTS REFER TO NORMAL COMFORT ASSESSMENT - BERB PRO MODELING REPORT
 - TO ALLOW FOR IRRIGATION OF 100 M² OF COMMON LANDSCAPED AREA
 - UJ 657 AND SHOC * 0.74 1 10% (WATER STRIPPERS FITTED)

WATER
 - CENTRAL WATER TANK (RAINWATER OR STORMWATER)
 - TO COLLECT RUNOFF FROM AT LEAST 200M² OF ROOF AREA
 - TO ALLOW FOR IRRIGATION OF 100 M² OF COMMON LANDSCAPED AREA
 - CENTRAL HOT WATER SYSTEM TO SUPPLY ALL DWELLINGS

LEVEL 4
1:200

ATTACHMENT A



PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT APPROVED UNDER DEVELOPMENT UNDER CONSTRUCTION
 PROJECT NO. 110X
 DRAWN BY: RHM
 CHECKED BY: RHM
 DRAWING NO.: DA 2006 E
 DATE: 10/11/11
 NSW 2017
 APPROVED BY: [Signature]
 REGISTERED ARCHITECT



APPROBRIATIONS
 ELEC ELECTRICAL CURBBOARD
 PH FIRE HYDRANT
 FPH FIRE HYDRANT
 FPH FIRE HYDRANT
 CC CAN BASE CURTILE
 SMP STORMWATER PIT

LEGEND
 DASHED LINE TO BE REMOVED
 PREVIOUS LEVEL
 RELATIVE LEVEL
 EXISTING RELATIVE LEVEL
 OUTLINE OF EXISTING BUILDING



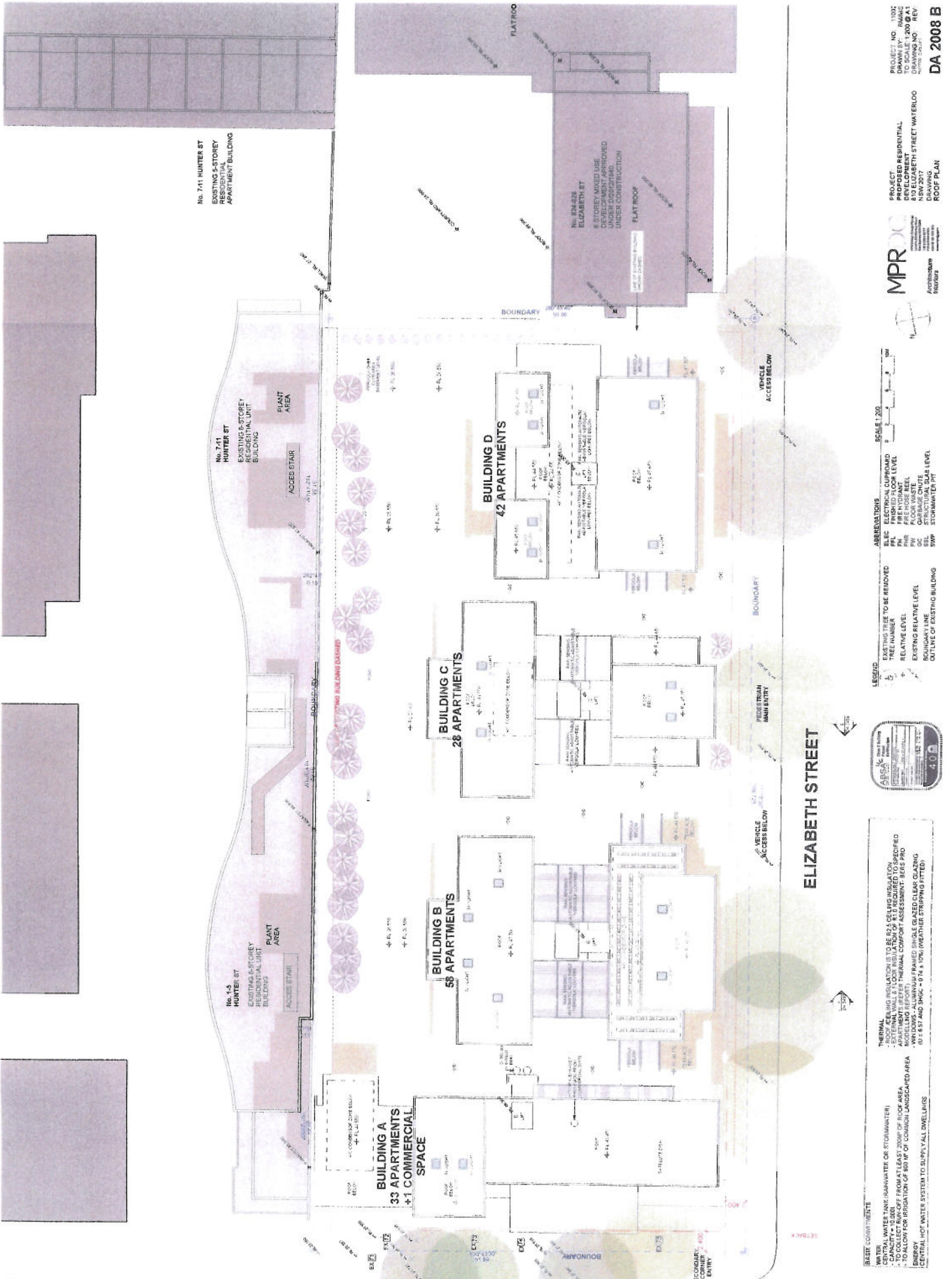
BASELINE COMMITMENTS
 WATER
 CENTRAL WATER TANK (RAINWATER OR STORMWATER)
 - TO COLLECT RAINOFF FROM AT LEAST 200M² OF ROOF AREA
 - TO ALLOW FOR IRRIGATION OF 800 M² OF COMMON LANDSCAPED AREA
 ENERGY
 CENTRAL HOT WATER SYSTEM TO SUPPLY ALL DWELLINGS

TERMINAL
 - ROOF CEILING INSULATIONS TO BE R2.5 CEILING INSULATION
 - EXISTING WALL AND DOOR INSULATION OF R1.2 REQUIRED TO SPECIFIED MODELING REPORT
 - THERMAL COMFORT ASSESSMENT - REFER PRO MODELING REPORT
 - EXISTING CEILING GLAZING TO BE R2.5 AND SHGC 0.44 (MAXIMUM GLAZING STEPS TO FIT)

ELIZABETH STREET

McEVROY STREET

ATTACHMENT A



No. 741 HUNTER ST
EXISTING 8-STORY
RESIDENTIAL
APARTMENT BUILDING

No. 741
HUNTER ST
EXISTING 8-STORY
RESIDENTIAL UNIT
BUILDING

No. 1-3
HUNTER ST
EXISTING 8-STORY
RESIDENTIAL UNIT
BUILDING

No. 234-238
ELIZABETH ST
8-STORY MIXED USE
DEVELOPMENT APPROVED
UNDER CONSTRUCTION
UNDER CONSTRUCTION

McEVROY STREET

ELIZABETH STREET

PROJECT NO.: 11007
DRAWING NO.: 1200-01
REV: 01
DATE: 08/2018
PROJECT: DEVELOPED RESIDENTIAL
810 ELIZABETH STREET WATERLOO
DRAWING: ROOF PLAN

MPRO
Architectural
Engineers
11000
Waterloo, Ontario
N2L 2G2
Tel: 519-888-8888
Fax: 519-888-8889
www.mpro.ca



ABBREVIATIONS

ELIC	ELECTRICAL CUPBOARD
FRL	FINISHED FLOOR LEVEL
FWR	FIRE WALL
FWR	FIRE RISE REEL
PW	FLOOR WASTE
SSL	STRUCTURAL SLAB LEVEL
SWP	STORMWATER PIT

LEGEND

(Symbol)	EXISTING TREE TO BE REMOVED
(Symbol)	TREE NUMBER
(Symbol)	RELATIVE LEVEL
(Symbol)	EXISTING RELATIVE LEVEL
(Symbol)	BOUNDARY LINE
(Symbol)	OUTLINE OF EXISTING BUILDING

SCALE: 1:200

VEHICLE ACCESS BELOW

PEDESTRIAN AMBULATORY

LEGEND

(Symbol)	VEHICLE ACCESS BELOW
(Symbol)	PEDESTRIAN AMBULATORY
(Symbol)	BOUNDARY LINE
(Symbol)	OUTLINE OF EXISTING BUILDING

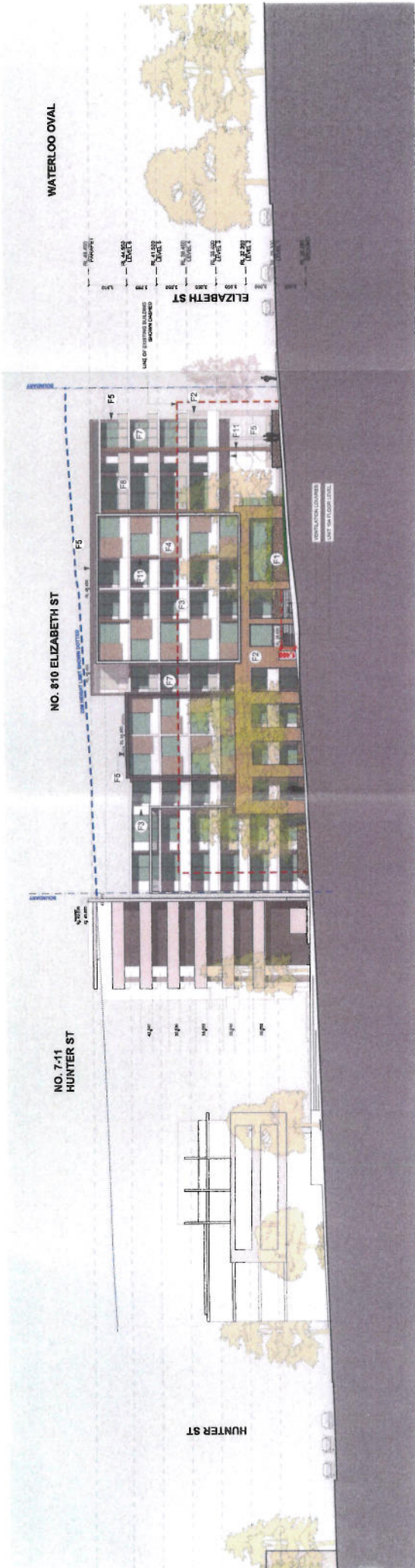


BASIC REQUIREMENTS

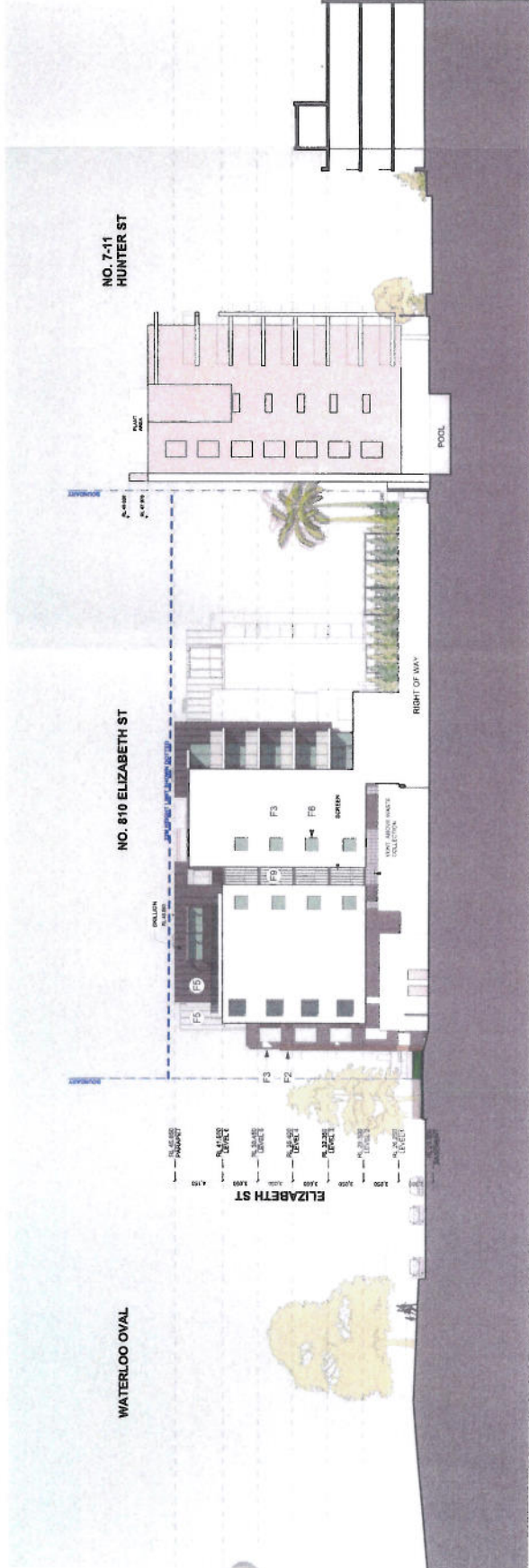
- WATER: CENTRAL WATER TANK (RAINWATER OR STORMWATER)
- EXTERIOR WALLS: EXTERIOR WALLS TO BE INSULATED TO R-10
- CEILING INSULATION: CEILING INSULATION TO BE R-14
- ROOF INSULATION: ROOF INSULATION TO BE R-30
- GLAZING: GLAZING TO BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ENERGY EFFICIENCY RATING SYSTEM (NEERS) MODELING REPORT
- WINDOWS: ALUMINUM FRAMED SINGLE GLAZED CLEAR GLAZING TO R-1.87 AND DOUBLE GLAZED CLEAR GLAZING TO R-2.0
- DOORS: ALUMINUM FRAMED DOUBLE GLAZED CLEAR GLAZING TO R-1.87 AND SINGLE GLAZED CLEAR GLAZING TO R-1.0
- GLAZING: GLAZING TO BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ENERGY EFFICIENCY RATING SYSTEM (NEERS) MODELING REPORT
- CEILING: CEILING INSULATION TO BE R-14
- ROOF: ROOF INSULATION TO BE R-30
- GLAZING: GLAZING TO BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ENERGY EFFICIENCY RATING SYSTEM (NEERS) MODELING REPORT
- WINDOWS: ALUMINUM FRAMED SINGLE GLAZED CLEAR GLAZING TO R-1.87 AND DOUBLE GLAZED CLEAR GLAZING TO R-2.0
- DOORS: ALUMINUM FRAMED DOUBLE GLAZED CLEAR GLAZING TO R-1.87 AND SINGLE GLAZED CLEAR GLAZING TO R-1.0
- GLAZING: GLAZING TO BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ENERGY EFFICIENCY RATING SYSTEM (NEERS) MODELING REPORT

ROOF PLAN
SCALE: 1:200

ATTACHMENT A



1 NORTH
1:200



2 SOUTH
1:200

BASE COMMENTS

- CENTRAL WATER TANK (RAINWATER OR STORMWATER)
- CAPACITY = 10,000L
- TO BE INSTALLED FROM 15.00M ASH LEVEL TO 15.00M ASH LEVEL
- TO ALLOW FOR IRRIGATION OF 600 V20 COMMON LANDSCAPED AREA
- TO ALLOW FOR IRRIGATION OF 600 V20 COMMON LANDSCAPED AREA
- ENERGY**
- CENTRAL HOT WATER SYSTEM TO SUPPLY ALL DWELLINGS

- THERMAL**
- EXTERNAL WALL & FLOOR INSULATION TO BE R2.5
 - EXTERNAL WALL & FLOOR INSULATION OF R1.0 REQUIRED TO BE SPECIFIED
 - TO BE SPECIFIED TO THERMAL COMFORT ASSESSMENT - BASIS PHD MODELING REPORT
 - WINDOWS - ALUMINIUM FRAMED SINGLE GLAZED CLEAR GLAZING (6 ST AND 8HC - 6 ST & 10ST) (WITH 10MM STRIPPING FITTED)

ABBREVIATIONS

- F1 - DRY PACK STONE CLADDING
- F2 - SPLIT FACE BLOCK
- F3 - BRICK
- F4 - GREY CORRUGATED METAL
- F5 - METAL ROOF SHEETS
- F6 - ALUMINIUM FRAMED WINDOW
- F7 - ALUMINIUM FRAMED SLIDING DOOR
- F8 - ALUMINIUM FRAMED GLASS BALUSTRADE
- F9 - ALUMINIUM FRAMED GLASS BALUSTRADE
- F10 - GALVANISED MILD STEEL STAIR & HANDRAIL
- F11 - TO FUTURE DETAIL
- F12 - TO FUTURE DETAIL
- F13 - TO FUTURE DETAIL
- F14 - TO FUTURE DETAIL
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- F99 - TO FUTURE DETAIL
- F100 - TO FUTURE DETAIL



PROJECT: RESIDENTIAL DEVELOPMENT
 810 ELIZABETH STREET WATERLOO NSW 2517
 PROJECT NO: 11022
 DRAWING NO: 1200 @ A1
 DATE: 10/10/2017
 DRAWING NO: 1200 @ A1
 DATE: 10/10/2017
 PROJECT: RESIDENTIAL DEVELOPMENT
 810 ELIZABETH STREET WATERLOO NSW 2517
 PROJECT NO: 11022
 DRAWING NO: 1200 @ A1
 DATE: 10/10/2017
 DRAWING NO: 1200 @ A1
 DATE: 10/10/2017

ATTACHMENT A



NO. 824 - 828 ELIZABETH ST

NO. 810 ELIZABETH ST

McEVROY ST
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 4.4.00
 4.3.00
 4.2.00
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 FINISHED FLOOR

1 WEST 1:200

PROJECT NO. 1190
 DRAWN BY: RAMS
 TO SCALE: 1:200 @ A1
 DATE: 20/07/2017
 PROJECT: PROPOSED RESIDENTIAL
 810 ELIZABETH STREET WATERLOO
 NSW 2017
 DRAWING: WEST ELEVATION

MPRDG
 Architecture
 115/117 Market Street
 Sydney NSW 2000
 Australia
 Phone: +61 (0)2 9232 3100
 Fax: +61 (0)2 9232 3101
 Email: info@mprdg.com.au
 www.mprdgc.com.au



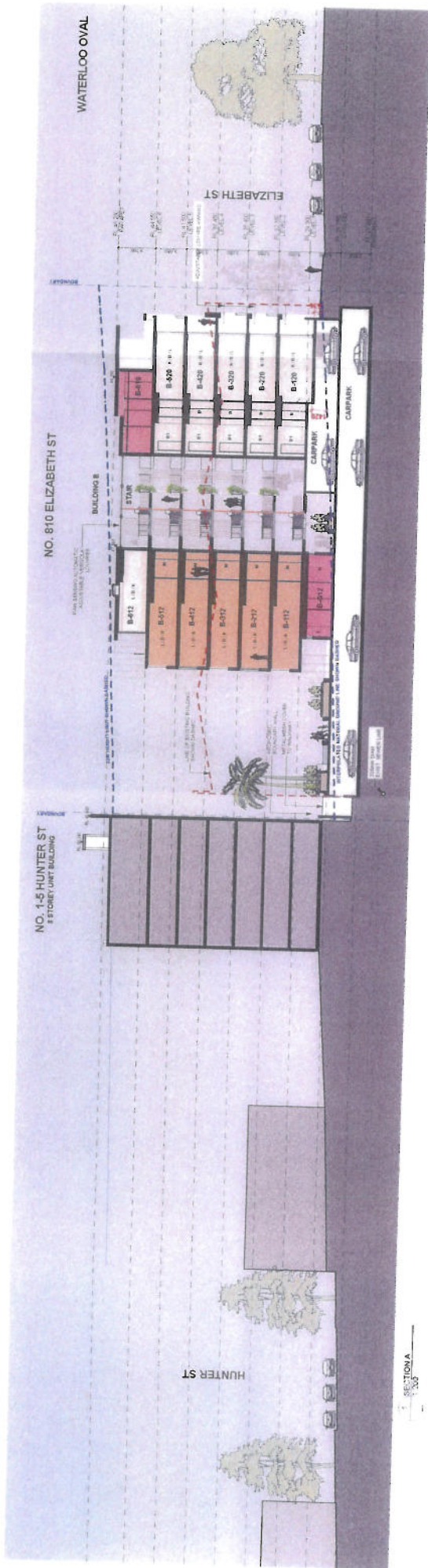
ABBREVIATIONS	
F1	DRY PACK STONE CLADDING
F2	8 FT-LIT FACE BLOCK
F3	ALUMINIUM FRAMED GLAZING
F4	GREY CONCRETE WALL PANEL
F5	METAL ROOF SHEETING
F6	ALUMINIUM FRAMED WINDOW
F7	ALUMINIUM FRAMED SLIDING DOOR
F8	ALUMINIUM FRAMED GLASS BALUSTRADE
F9	LOUVER SCREEN
F10	PAINTED WILD STEEL STAIR & HANDRAIL
F11	RENDERED & PAINTED MASONRY - COLOUR DULUX 'FLOURISHED EARTH'

THERMAL
 - ROOF CEILING INSULATION IS TO BE R1.5 CEILING INSULATION
 - APARTMENTS INSULATION TO BE R1.5 INSULATION TO SPECIFIED
 APARTMENTS INSULATION REPORT
 - INSULATION REPORT TO BE PROVIDED
 - U 0.45 BTU/H SQ FT INCH
 - U 0.45 BTU/H SQ FT INCH (WALLS) (WALLS TO BE R1.5)

BASE COMMITMENTS
 WATER
 - WATER TANK (RAINWATER OR SURF/WATER)
 CAPACITY TO BE
 - TO COLLECT RAIN-OFF FROM AT LEAST 200M² OF ROOF AREA
 CAPACITY FOR IRRIGATION OF 800 M² OF COMMON LANDSCAPED AREA
 ENERGY
 CENTRAL HOT WATER SYSTEM TO SUPPLY ALL DWELLINGS

© 1188 1188/8888 8 888888 888888

ATTACHMENT A



SEALY CONSULTANTS
 WATER
 CENTRAL WATER TANK (RAW WATER OR STORMWATER)
 CAPACITY = 5000L PER FLAT AS A MINIMUM 2000L OF FOOT AREA
 TO ALLOW FOR IRRIGATION OF 500 SQ M OF CONCRETE LANDSCAPED AREA
 ENERGY
 CENTRAL HOT WATER SYSTEM TO SUPPLY ALL DWELLINGS

THERMAL
 - ROOF CEILING INSULATION IS TO BE R2.5 CEILING INSULATION
 APARTMENTS (REFER THERMAL COMPUTATION REPORT TO SPECIFIED
 THERMAL REPORT)
 - WINDOW FRAMED INGLASS TO BE DOUBLE GLAZED
 (U = 1.8 W/M²K AND SHGC = 0.74 ± 1%) (WEATHER STRIPPING FITTED)



MPR
 ARCHITECTURE
 INTERIORS

PROJECT NO: 1930
 DRAWN BY: RWAK
 CHECKED BY: RWAK
 DRAWING NO: 200 @ A
 DATE: 11/07/2017
 PROJECT: 810 ELIZABETH STREET WATERLOO
 DEVELOPMENT
 CROSS SECTIONS A & B

DA 2400 E

ATTACHMENT A



NO. 824 - 828 ELIZABETH ST
PROPOSED 5 STOREY RESIDENTIAL DEVELOPMENT

NO. 810 ELIZABETH ST
BUILDING C

BUILDING B

BUILDING A

MCEVOY ST

PROJECT NO. 1100
SCALE 1:200
DRAWING NO. REV
DATE 04/11/2017

PROJECT: RESIDENTIAL
DEVELOPMENT
810 ELIZABETH STREET WATERLOO
NSW 2017



BASIC COMMENTS

- WATER TREATMENT PLANT (RAW WATER OR STORING WATER)
- CAPACITY = 0.000L
- TO COLLECT RUNOFF FROM AT LEAST 200M² OF ROOF AREA
- TO COLLECT RUNOFF FROM AT LEAST 100 M² OF COURTYARD LANDSCAPED AREA
- ENERGY
- CENTRAL HOT WATER SYSTEM TO SUPPLY ALL DWELLINGS

TERMINAL

- EXTERNAL WALL INSULATION AS PER SPECIFIED INSULATION
- EXTERNAL WALLS TO HAVE INSULATION AS PER SPECIFIED INSULATION
- APARTMENT'S THERMAL COMFORT ASSESSMENT - BETS PRO
- WINDOWS - ALUMINUM FRAMED SINGLE GLAZED CLEAR GLAZING (U-F 6.67 AND SHGC - 0.74 ± 10% (WEATHER STRIPPING FITTED))

DA 2401 E

CROSS SECTION C

10/11/17 The Project No. 1100-1100-01-01

ATTACHMENT A

F1 DRY PACK STONE CLADDING



F2 SPLIT FACE BLOCK



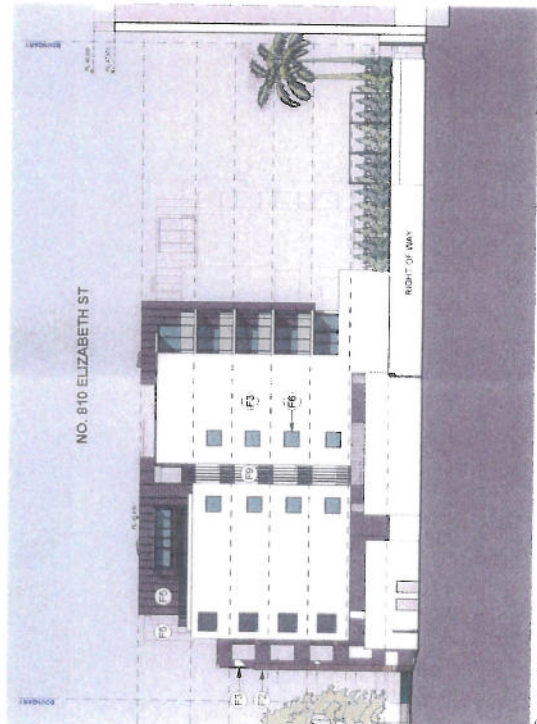
F3 RENDERED & PAINTED MASONRY
COLOUR DULUX "HOG BRISTLE"



F4 GREY CORRUGATED METAL



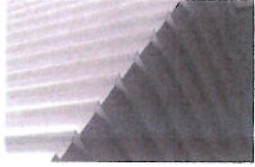
F11 RENDERED & PAINTED CONCRETE
COLOUR "PLUGHED EARTH"



ABBREVIATIONS

- F1 DRY PACK STONE CLADDING
- F2 SPLIT FACE BLOCK
- F3 GREY CORRUGATED METAL
- F4 GREY CORRUGATED METAL
- F5 LYSAGHT LONGLINE 305 METAL CLADDING
COLOUR "BLUSHLAND"
- F6 ALUMINIUM FRAMED GLASS BALUSTRADE
- F7 ALUMINIUM FRAMED SLIDING DOOR
- F8 GALV. MILD STEEL STAIR
& HANDRAIL
TO FUTURE DETAIL
- F9 DULUX "PLUGHED EARTH"
- F10 GALV. MILD STEEL STAIR
& HANDRAIL
TO FUTURE DETAIL
- F11 DULUX "PLUGHED EARTH"

F5 LYSAGHT LONGLINE 305 METAL CLADDING
COLOUR "BLUSHLAND"



F7 ALUMINIUM FRAMED SLIDING DOOR



F6 ALUMINIUM FRAMED GLASS BALUSTRADE



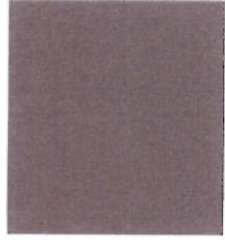
F8 LOUVRED SCREEN



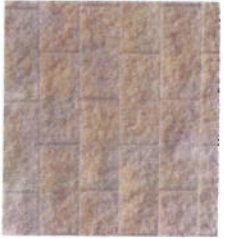
F10 GALV. MILD STEEL STAIR
& HANDRAIL
TO FUTURE DETAIL



ATTACHMENT A



F1 : DRY PACK STONE CLADDING



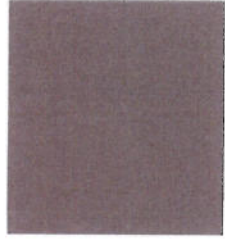
F2 : SPLIT FACE BLOCK



F3: RENDERED & PAINTED MASONRY
COLOUR DULUX 'HOG BRISTLE'



F4: GREY CORRUGATED METAL



F11: RENDERED & PAINTED MASONRY
COLOUR DULUX 'PLOUGHED EARTH'



F5 : LYSAGHT LONGLINE
305 METAL CLADDING



F7 : ALUMINIUM FRAMED
SLIDING DOOR



F8 : ALUMINIUM FRAMED
GLASS BALUSTRADE



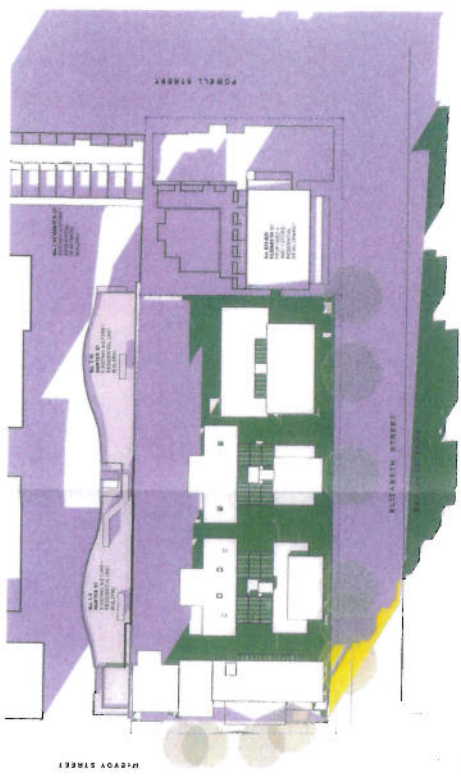
F9 : LOUVRED SCREEN



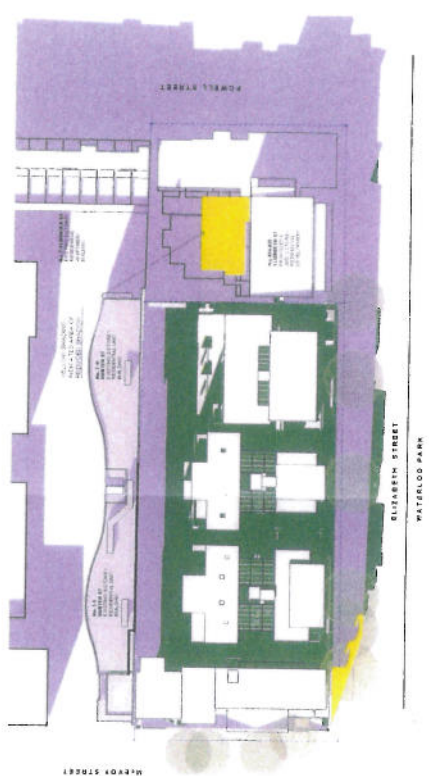
F10 : GALV. MILD STEEL STAIR
& HANDRAIL
TO FUTURE DETAIL

ABBREVIATIONS	
F1	DRY PACK STONE CLADDING
F2	SPLIT FACE BLOCK
F3	RENDERED & PAINTED MASONRY - COLOUR DULUX 'HOG BRISTLE'
F4	GREY CORRUGATED METAL
F5	METAL ROOF SHEETING
F6	ALUMINIUM FRAMED WINDOW
F7	ALUMINIUM FRAMED SLIDING DOOR
F8	ALUMINIUM FRAMED GLASS BALUSTRADE
F9	LOUVRED SCREEN
F10	GALV. MILD STEEL STAIR & HANDRAIL TO FUTURE DETAIL
F11	RENDERED & PAINTED MASONRY - COLOUR DULUX 'PLOUGHED EARTH'

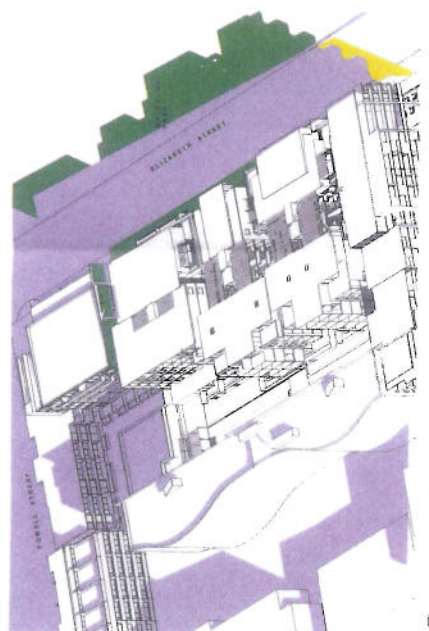
ATTACHMENT A



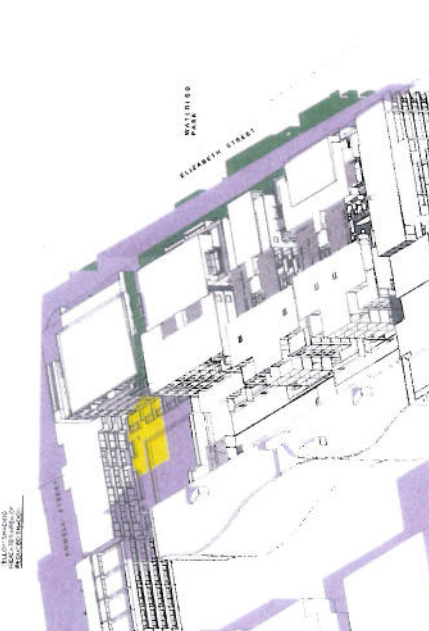
1 21 JUNE 8:00AM
EXISTING SHADOW ANALYSIS
AUTOMETRIC



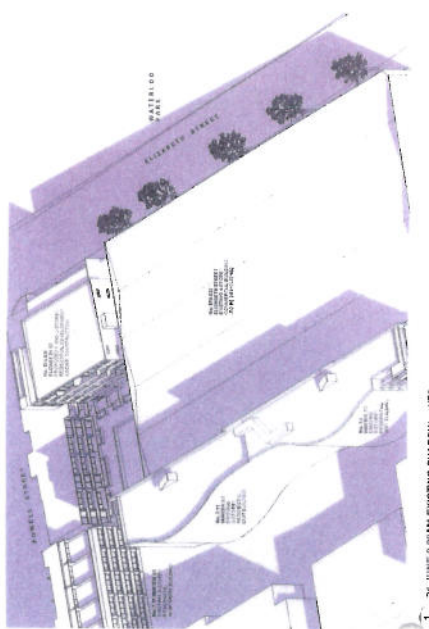
2 21 JUNE 10:00AM
EXISTING SHADOW ANALYSIS
AUTOMETRIC



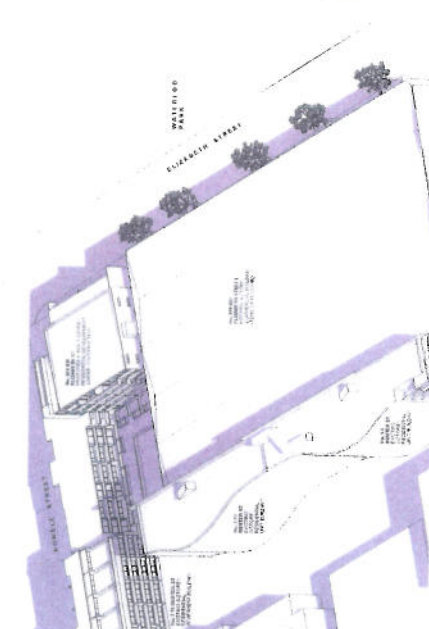
3 21 JUNE 8:00AM PROPOSED
SHADOW ANALYSIS
AUTOMETRIC



4 21 JUNE 10:00AM PROPOSED
SHADOW ANALYSIS
AUTOMETRIC



5 21 JUNE 8:00AM EXISTING SHADOW
ANALYSIS
AUTOMETRIC



6 21 JUNE 10:00AM EXISTING SHADOW
ANALYSIS
AUTOMETRIC

- LEGEND**
- EXISTING SHADOW
 - PROPOSED ADDITIONAL SHADOW
 - PROPOSED REDUCTION (IMPROVEMENT)

MPR XG
ARCHITECTURE
INTERIOR DESIGN

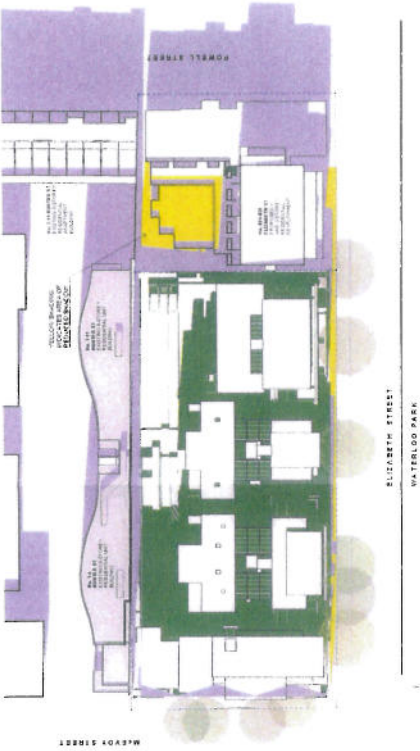
PROJECT
PROPOSED RESIDENTIAL
810 ELIZABETH STREET WATERLOO
NSW 2017

DRAWING
SHADOW IMPACT ANALYSIS
21 JUNE / WATER SOLSTICE
8:00AM-10:00AM

PROJECT NO. 108
DRAWN BY: RAA
TO SCALE: NTS @ 7
DATE: 10/10/17
DATE: 10/10/17

DA 2510 E

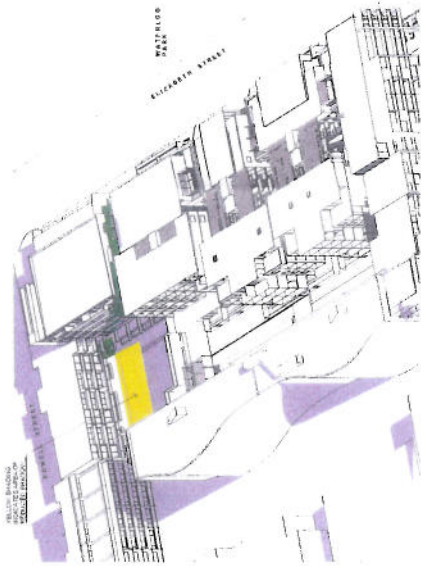
ATTACHMENT A



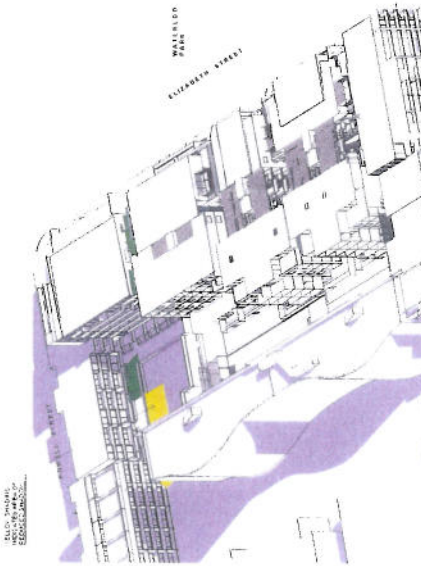
3 21 JUNE 11 AM PROPOSED BUILDING - NTS
SHADOW IMPACT ANALYSIS
PLAN



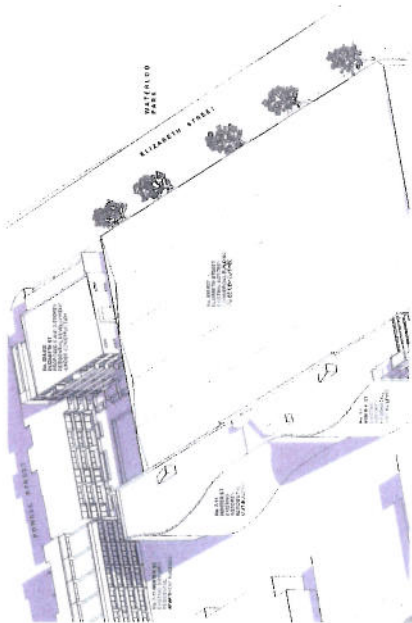
6 21 JUNE 12 PM PROPOSED BUILDING - NTS
SHADOW IMPACT ANALYSIS
PLAN



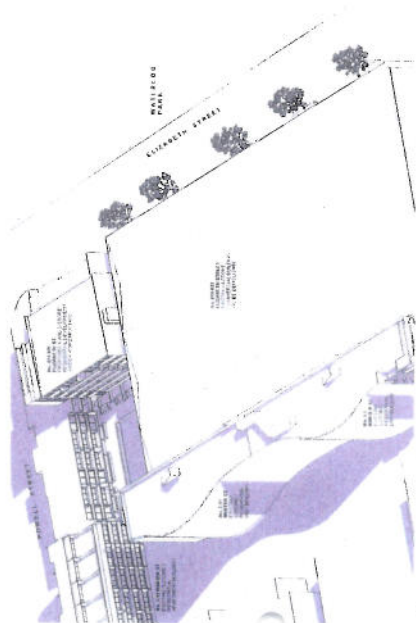
7 21 JUNE 11 AM PROPOSED BUILDING - NTS
SHADOW IMPACT ANALYSIS
AERONOMETRIC



5 21 JUNE 12 PM PROPOSED BUILDING - NTS
SHADOW IMPACT ANALYSIS
AERONOMETRIC



1 21 JUNE 11 AM EXISTING BUILDING - NTS
SHADOW IMPACT ANALYSIS
AERONOMETRIC



4 21 JUNE 12 PM EXISTING BUILDING - NTS
SHADOW IMPACT ANALYSIS
AERONOMETRIC

LEGEND

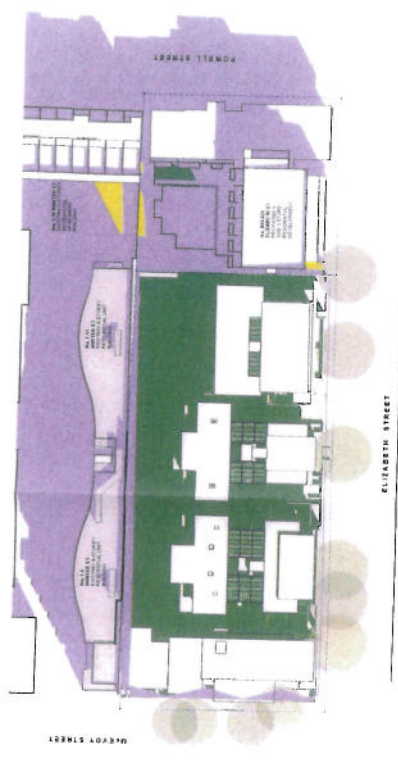
- EXISTING SHADOW
- PROPOSED ADDITIONAL SHADOW
- PROPOSED REDUCTION OF SHADOW (IMPROVEMENT)



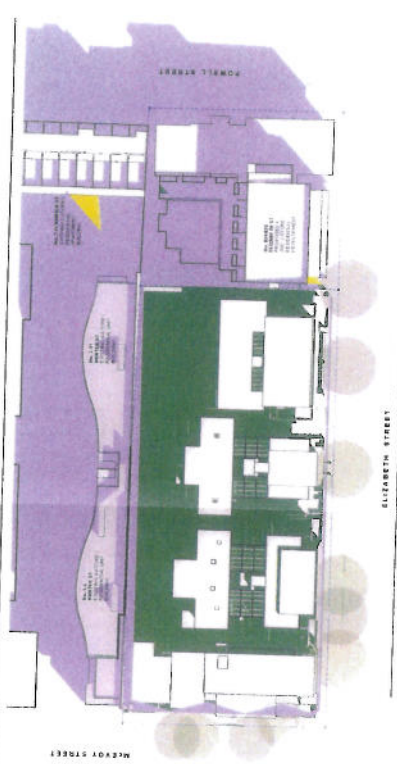
PROJECT NO. 157
DRAWN BY: KMK
TO SCALE: NTS @ A
DATE: 11/06/12
PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT AT 21 JUNE STREET WATERLOO ONSTREET
DATE: 11/06/12
DRAWING: SHADOW IMPACT ANALYSIS
11/06/12-12/06/12

DA 2511 E

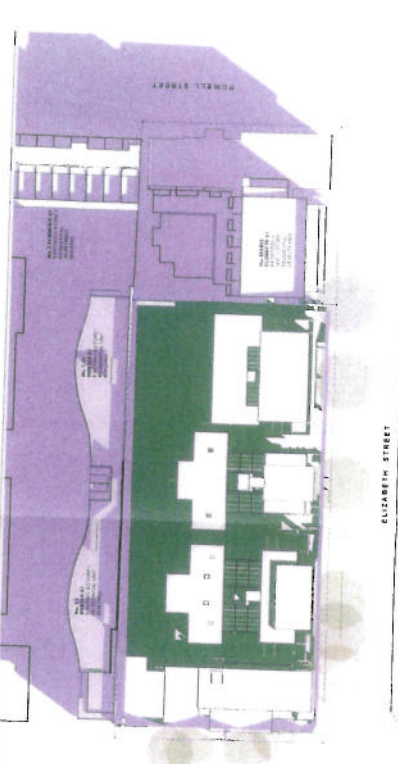
ATTACHMENT A



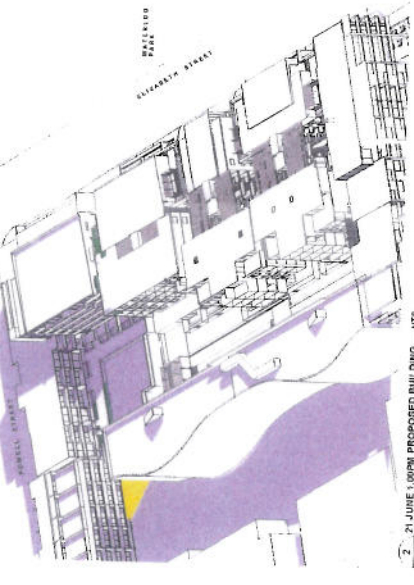
21 JUNE 1 10PM PROPOSED BUILDING - NTS
21 JUNE 1 10PM SHADOW IMPACT ANALYSIS
ARCHITECTURAL PLAN



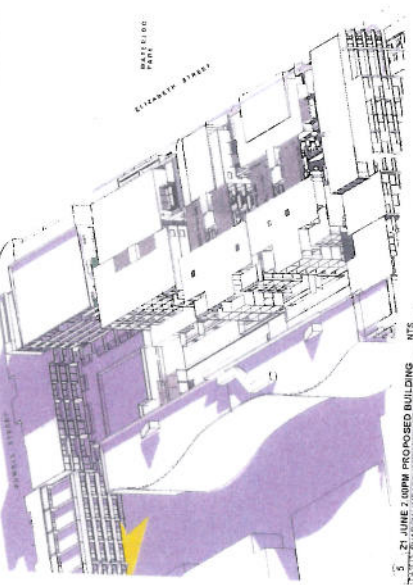
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21 JUNE 2 10PM SHADOW IMPACT ANALYSIS
ARCHITECTURAL PLAN



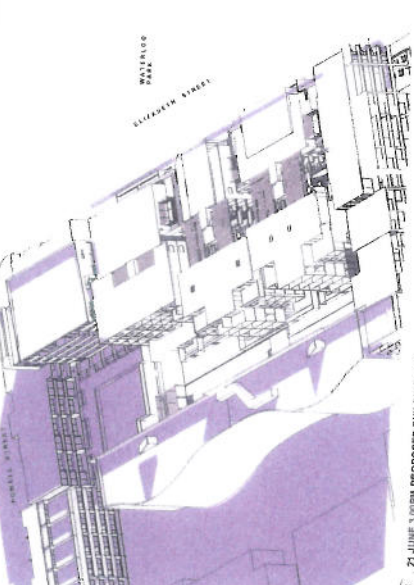
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21 JUNE 3 10PM SHADOW IMPACT ANALYSIS
ARCHITECTURAL PLAN



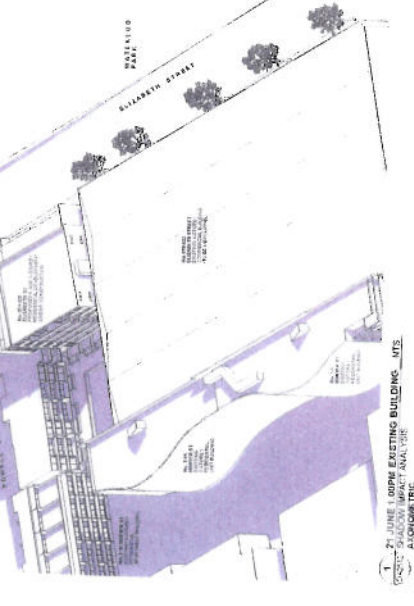
21 JUNE 1 10PM PROPOSED BUILDING - NTS
21 JUNE 1 10PM SHADOW IMPACT ANALYSIS
AXONOMETRIC



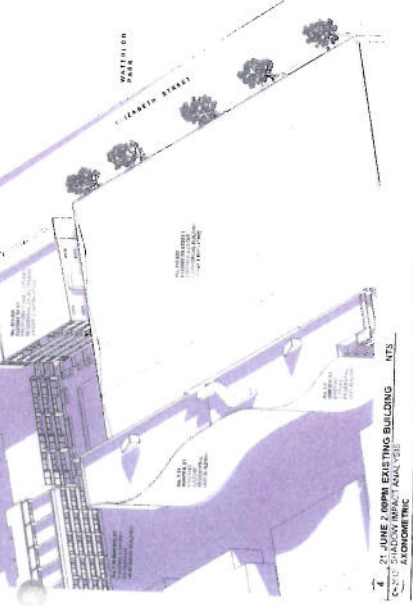
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21 JUNE 2 10PM SHADOW IMPACT ANALYSIS
AXONOMETRIC



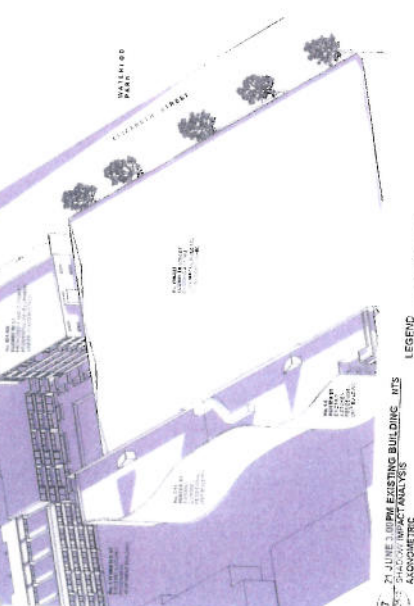
21 JUNE 3 10PM PROPOSED BUILDING - NTS
21 JUNE 3 10PM SHADOW IMPACT ANALYSIS
AXONOMETRIC



21 JUNE 1 10PM EXISTING BUILDING - NTS
21 JUNE 1 10PM SHADOW IMPACT ANALYSIS
AXONOMETRIC



21 JUNE 2 10PM EXISTING BUILDING - NTS
21 JUNE 2 10PM SHADOW IMPACT ANALYSIS
AXONOMETRIC



21 JUNE 3 10PM EXISTING BUILDING - NTS
21 JUNE 3 10PM SHADOW IMPACT ANALYSIS
AXONOMETRIC

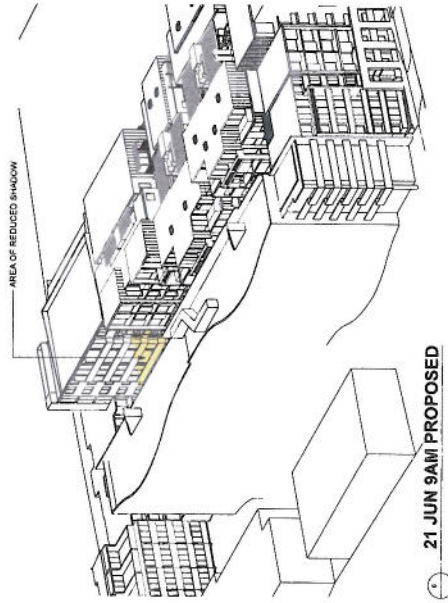
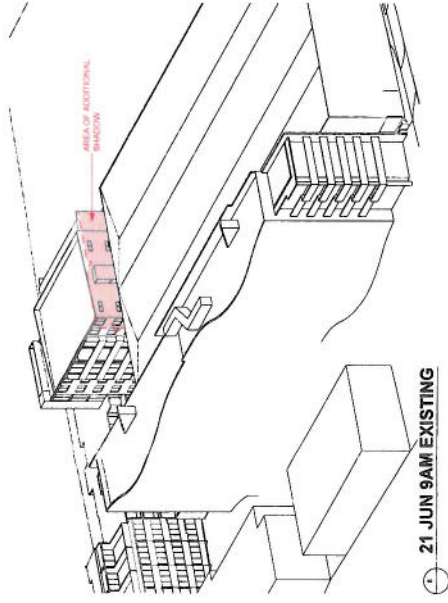
LEGEND

- EXISTING SHADOW
- PROPOSED ADDITIONAL SHADOW
- SHADOW REDUCTION OF SHADOW (IMPROVEMENT)

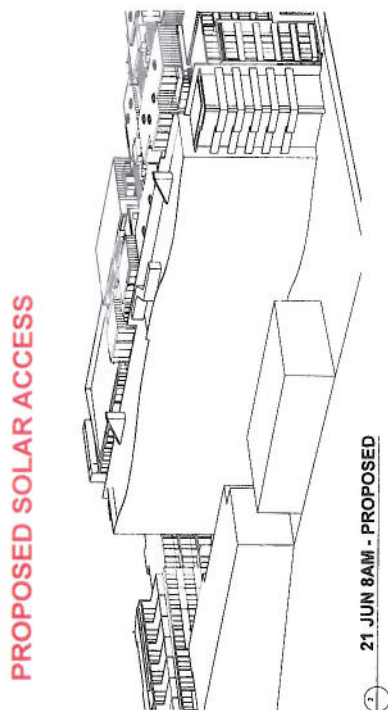
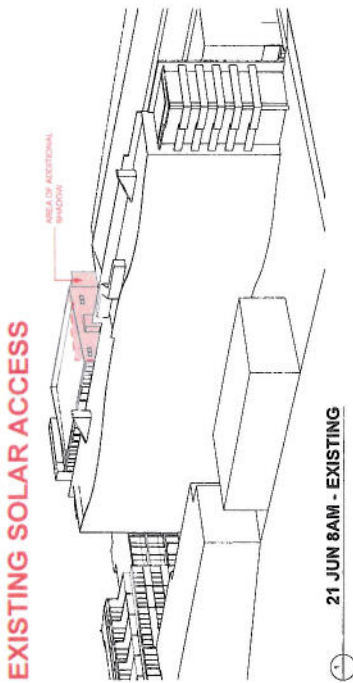
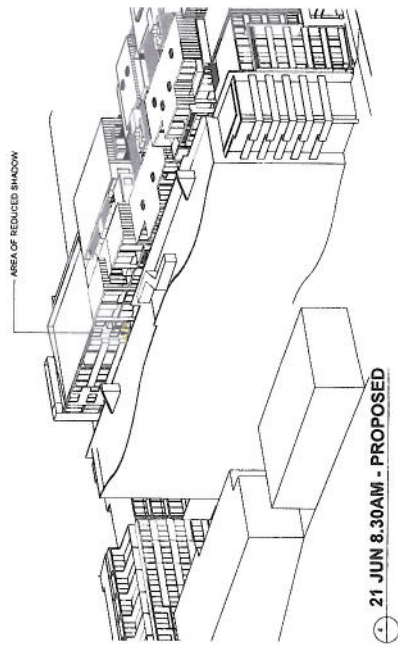
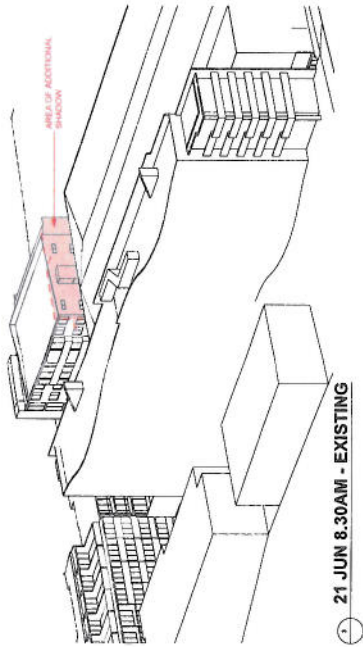
PROJECT NO. 100
DRAWN BY: BMM
CHECKED BY: BMM
DATE: 10/10/10
DRAWING NO. 02
PROJECT: RESIDENTIAL DEVELOPMENT
850 ELIZABETH STREET WATERLOO
ON
ARCHITECTURE
INTERIORS
21 JUNE / WINTER SOLSTICE
1.00PM-3.00PM
DA 2512 E



ATTACHMENT A



AMENDED DRAWINGS
28 OCT 2013

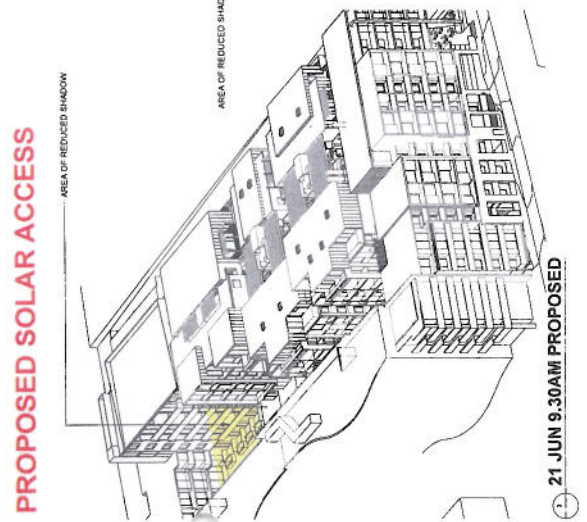
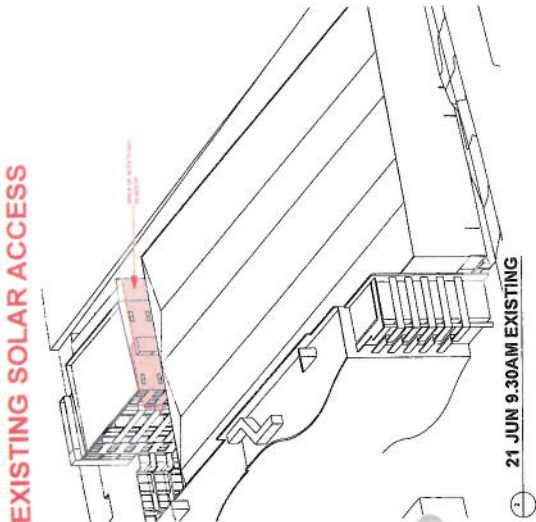
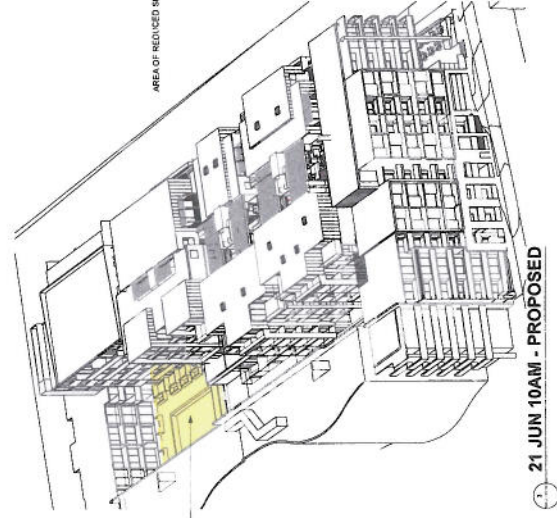
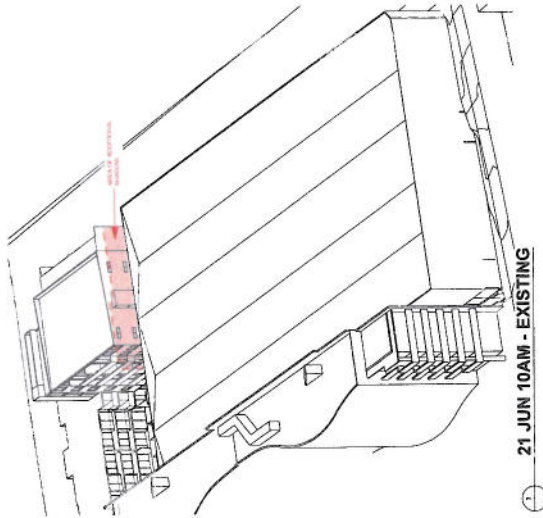
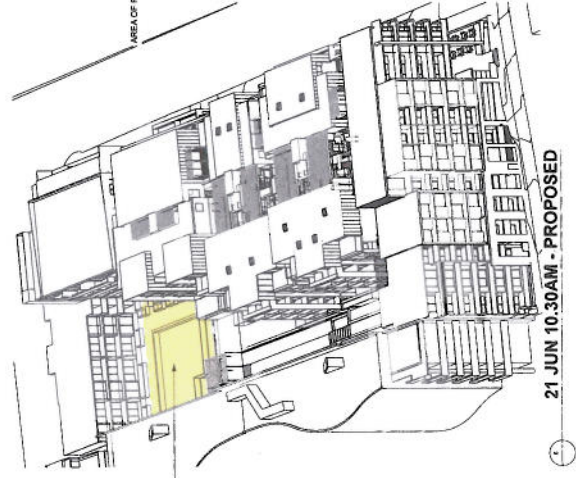
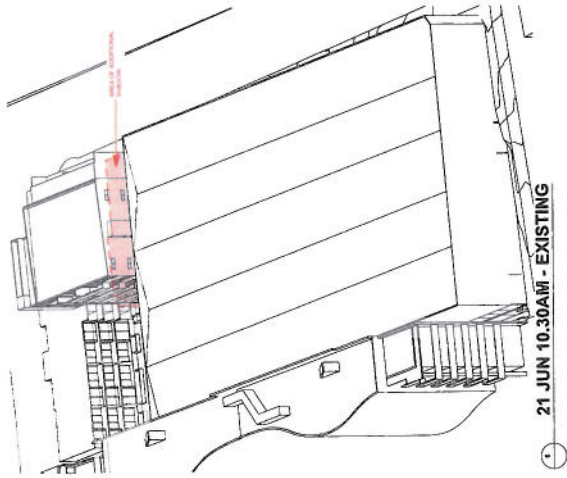
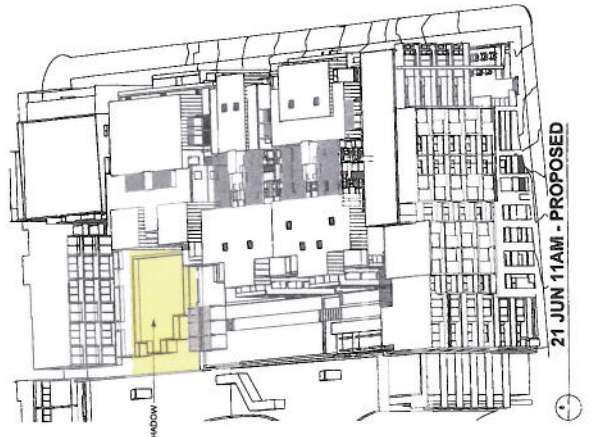
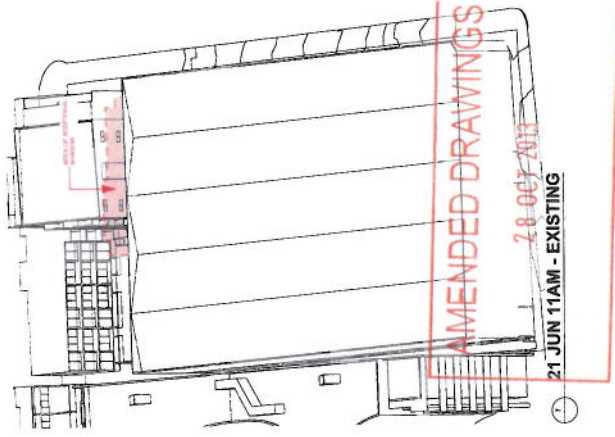


EXISTING SOLAR ACCESS

PROPOSED SOLAR ACCESS

JPR
PROJECT NO. 1502
PROPOSED RESIDENTIAL DEVELOPMENT
810 ELIZABETH STREET WATERLOO NSW 2017
DATE: 28 OCT 2013
DRAWING NO. REV
DA 2513
FROM THE SUN JUN 21 8AM-9AM

ATTACHMENT A



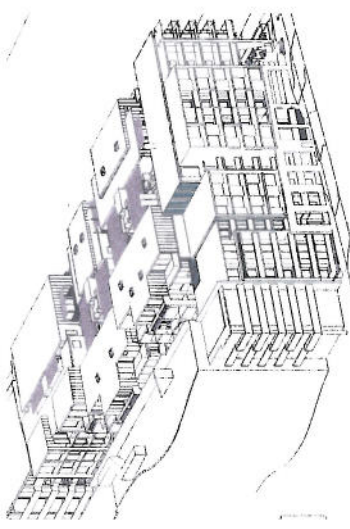
JPR
 JPR ARCHITECTURE PTY. LTD.
 Level 15, 150 Market Street
 Sydney NSW 2000
 Tel: +61 2 9250 1133
 Fax: +61 2 9250 0193
 Email: info@jpr.com.au
 Website: www.jpr.com.au

PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT
 DRAWING: 3D SHADOW ANALYSIS - VIEW FROM THE SUN JUN 21 9:30AM-11AM
 PROJECT NO: 1002
 DRAWN BY: RWAS
 CHECKED BY: ITS @ A1
 SCALE: AS SHOWN
 DATE: 28.06.2017

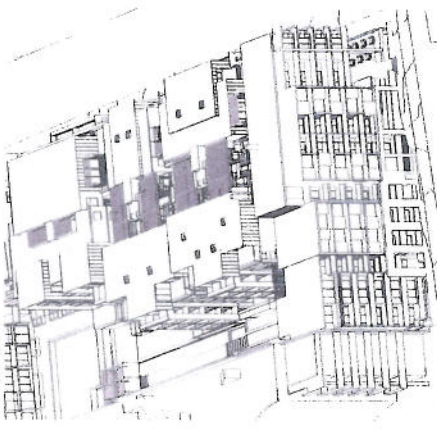
810 ELIZABETH STREET WATERLOO NSW 2017

DA 2514

ATTACHMENT A



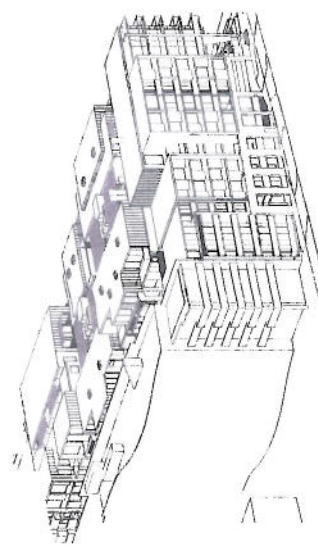
6 21 JUNE 9:00AM NTS
SOLAR ACCESS ANALYSIS
ALGORITHMIC



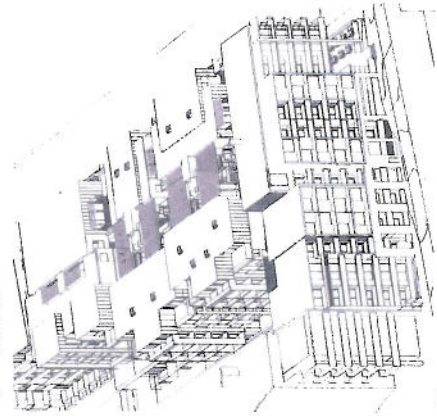
5 21 JUNE 10:00AM NTS
SOLAR ACCESS ANALYSIS
ALGORITHMIC



8 21 JUNE 12:00PM NTS
SOLAR ACCESS ANALYSIS
ALGORITHMIC



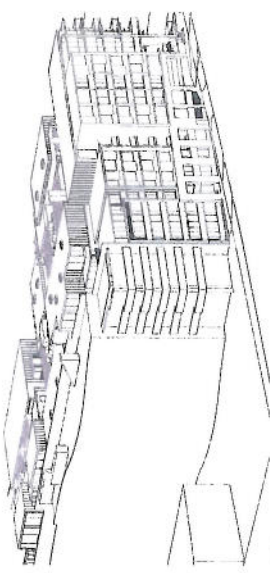
2 21 JUNE 8:00AM NTS
SOLAR ACCESS ANALYSIS
ALGORITHMIC



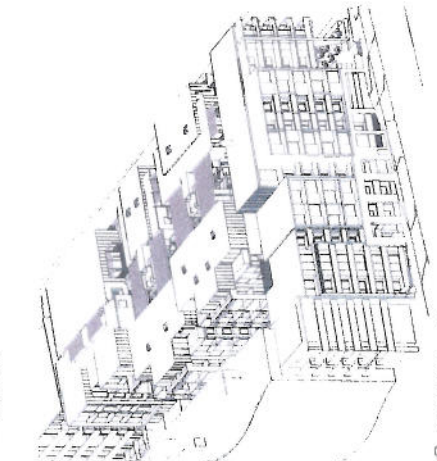
4 21 JUNE 10:00AM NTS
SOLAR ACCESS ANALYSIS
ALGORITHMIC



6 21 JUNE 11:30AM NTS
SOLAR ACCESS ANALYSIS
ALGORITHMIC



1 21 JUNE 8:00AM NTS
SOLAR ACCESS ANALYSIS
ALGORITHMIC



3 21 JUNE 11:00AM NTS
SOLAR ACCESS ANALYSIS
ALGORITHMIC



7 21 JUNE 11:30AM NTS
SOLAR ACCESS ANALYSIS
ALGORITHMIC

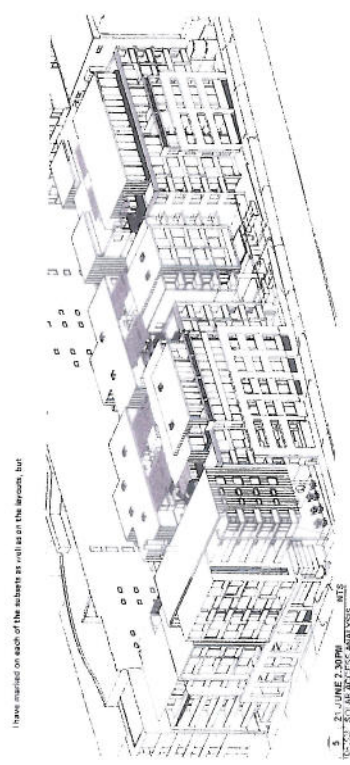
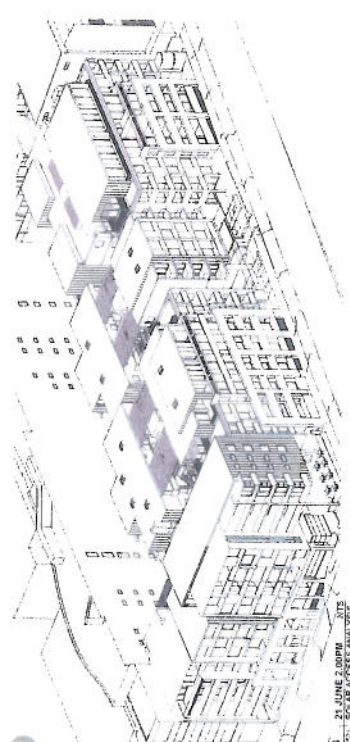
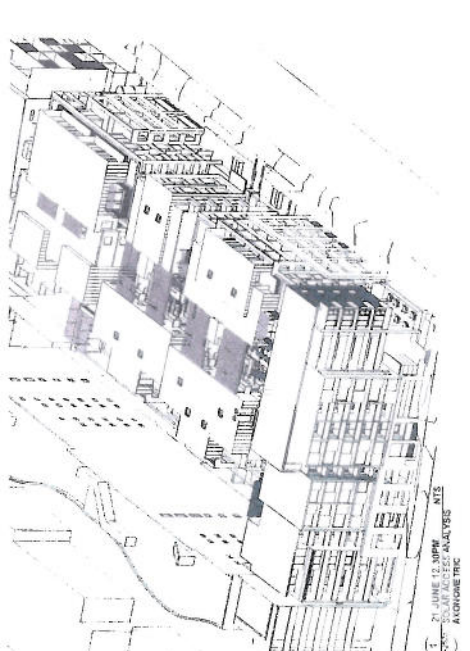
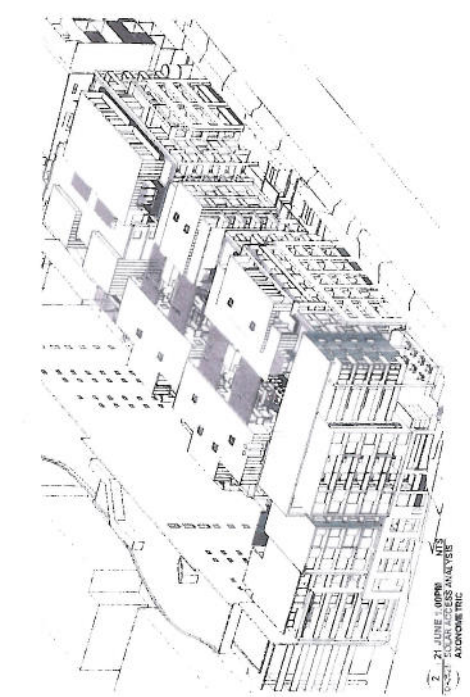
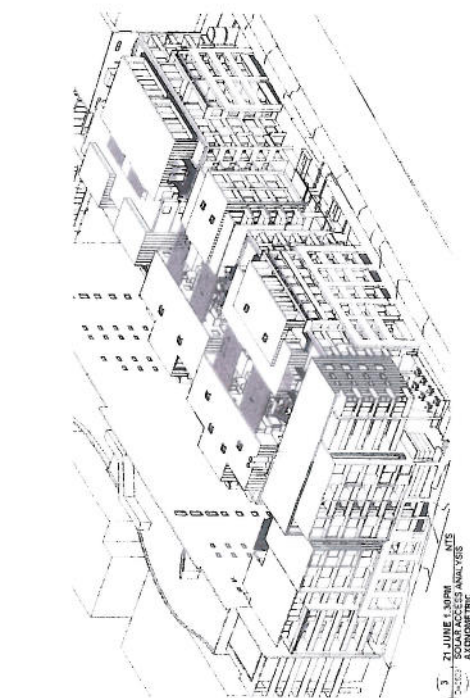
PROJECT NO. 130
PROJECT NAME
TO SCALE NTS 6/1
DRAWING NO. RE
DATE 2017

PROJECT: RESIDENTIAL
DEVELOPMENT
810 ELIZABETH STREET WATERLOO
NSW 2017
SOLAR ACCESS ANALYSIS
21 JUNE / WINTER SOLSTICE
9:00AM-12:00PM

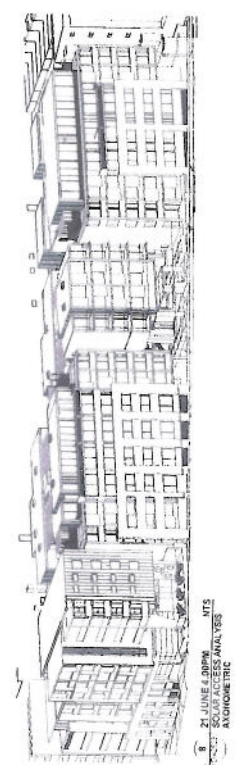
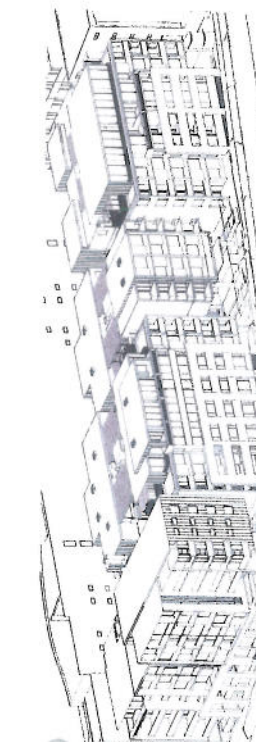
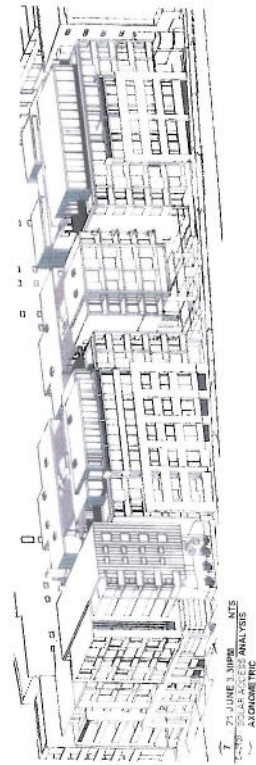
DA 2522 E

MPR
Architects
PRACTICE

ATTACHMENT A



Have marked on each of the subjects as well as on the layout, but



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PROJECT: PROPOSED RESIDENTIAL
810 ELIZABETH STREET WATERLOO
NEW 2017
DRAWING NO: 1001
PROJECT NO: 1100
DRAWN BY: AMM
CHECKED BY: JRS
DATE: 11/20/17

SOLAR ACCESS ANALYSIS
21 JUNE / WINTER SOLSTICE
1.00PM-4.00PM

DA 2523 E